

Mayor and Council
Executive Session and Work Session
March 28, 2017
Agenda

*"A diverse, business-friendly, and sustainable community with clean, safe and strong neighborhoods."
"Providing the most efficient and highest-quality services as the municipal location of choice for all
customers."*

"The greatest results in life are usually attained by common sense and perseverance." O. Feltham

6:00 PM WORK SESSION

1. City Comprehensive Plan Update (visionHagerstown 2035) - *Alex Rohrbaugh, Planner*

CITY ADMINISTRATOR'S COMMENTS

MAYOR AND COUNCIL COMMENTS

ADJOURN

**REQUIRED MOTION
MAYOR AND CITY COUNCIL
HAGERSTOWN, MARYLAND**

Topic:

City Comprehensive Plan Update (visionHagerstown 2035) - *Alex Rohrbaugh, Planner*

Mayor and City Council Action Required:

Planning Staff wishes to give the Mayor & Council an update and overview of the City's Comprehensive Plan update, visionHagerstown 2035. Staff is also seeking initial input from the Mayor & Council on the Plan's draft goals, issues, policies, and actions so that the Planning Commission can review and incorporate into the Plan as necessary.

In addition to this packet, Staff plans to do a powerpoint presentation/overview at Tuesday's Work Session.

Discussion:

Financial Impact:

Recommendation:

Motion:

Action Dates:

ATTACHMENTS:

File Name

MCC_Memo_3-23-17.pdf

Timeline.pdf

Goals__Issues__Policies__Actions.pdf

Figures_5-1____5-2.pdf

Maps.pdf

Description

visionHagerstown 2035
Cover Memo

Plan Review Timeline

Draft Goals, Issues,
Policies, Actions

Key to Map 5-3

Supporting Maps



CITY OF HAGERSTOWN, MARYLAND

Planning and Code Administration Department

MEMORANDUM

TO: Valerie Means, City Administrator

FROM: Alex W. Rohrbaugh, AICP, Planner *AR*

DATE: March 23, 2017

SUBJECT: City Comprehensive Plan Update (*visionHagerstown 2035*) –

Action Requested

Planning Staff wishes to give the Mayor & Council an update and overview of the City's Comprehensive Plan update, *visionHagerstown 2035*. Staff is also seeking initial input from the Mayor & Council on the Plan's draft goals, issues, policies, and actions so that the Planning Commission can review and incorporate into the Plan as necessary.

In addition to this packet, Staff plans to do a powerpoint presentation/overview at Tuesday's Work Session.

Overview

City Planning Staff is working on an update to the City's Comprehensive Plan, which was last adopted in 2008. The Comprehensive Plan is a roadmap for how the city should plan for growth over the next 20 years and establishes a vision of what the community is to be in the future. As its name implies, the Plan covers many topics, including Land Use, Transportation, Housing & Neighborhoods, Community Facilities, Water Resources, Economic Development, and Environmental Resources. The Comprehensive Plan identifies issues and opportunities for each of these topics and then identifies policies and recommendations as to how to address them. Issues and opportunities are gathered through Staff analyses as well as input from City boards and commissions, County Planning Commission and staff, business and community groups, and citizens. Much of the Comprehensive Plan will also incorporate previous City plans already vetted through the community, including the 2008 Comprehensive Plan, 2012 Sustainable Community Plan and The Community's City Center Plan. We also plan to incorporate, as appropriate, recommendations and conclusions from plans such as the Hagerstown-Eastern Panhandle Metropolitan Planning Organization (HEPMPO)'s 2040 Long-Range Transportation Plan, the City's 2008-2010 Comprehensive Rezoning, and the 2012 County Urban Growth Area Rezoning.

Maryland requires counties and municipalities to have a comprehensive plan, and that they should also be reviewed every 10 years. The Plan is on track for a 60-day clearinghouse review of the Plan (required by State Law) and a Public Review Meeting in Spring 2017. Once the Planning Commission considers public input and is satisfied that concerns/issues are addressed, they can make a recommendation to Mayor & Council. Staff will then have a Public Hearing with the Mayor & Council during the Summer/Fall 2017. In accordance with State Law, once the Planning Commission makes their recommendation on *visionHagerstown 2035* the Mayor & Council have 90 days (with one optional 60 day extension) to hold a Public Hearing and take one of three actions – approve, deny, or make changes to be remanded to the Planning Commission. If changes are made, the Planning Commission must review and hold its own Public Hearing before returning the Plan to

the Mayor & Council for approval or denial. If the Mayor & Council fails to take any action within 90 days, the Comprehensive Plan is deemed approved under State Law.

Plan Setup & Review

visionHagerstown 2035 will carry the same basic format as the 2008 Plan. It will be divided into nine elements: include Land Use, Economic Development, Water Resources, Transportation, Downtown, Housing/Neighborhoods, Urban Design/Historic Preservation, Community Facilities, and Environmental Resources & Sustainability. To date, the Planning Commission has reviewed preliminary drafts of all plan elements.

Who has provided input so far?

To date, Planning Staff has gathered input from multiple groups that has already been incorporated into the draft Plan. These groups include City Staff from Engineering, DCED, Utilities, Fire, Police, and Public Works, City Bicycle Advisory Committee, Historic District Commission, City Faith Community Committee, Neighborhoods 1st, County Planning Commission, BOE staff, Land Use Council, Convention and Visitors Bureau, and several social service providers.

Public Outreach

Planning Staff and Communications Staff have worked together to develop an online survey to gather community input for the broad themes that *visionHagerstown 2035* address. Staff have developed five online surveys through the SurveyMonkey® platform based on the following themes: Downtown, Economic Development, Transportation & Water Resources, Urban Design & Sustainability, and Housing & Neighborhoods. The format and questions of each survey were modeled after a similar Comprehensive Plan survey from Asheville NC and include a series of guided questions and statements that allow for interval-style answers (i.e. Strongly Agree, Agree, Disagree, Strongly Disagree) with one open-ended feedback question.

The first survey is expected to be released the week of March 13 and will be distributed through the City's social media platforms (Facebook, Twitter), a City-maintained email distribution listserve that should reach over 500+ citizens, through the Neighborhoods 1st and Main Street groups, a *visionHagerstown 2035* plan webpage on the City's website, as well as a media press release. Each subsequent survey will be released at a rate one per week and all will continue to be made available through the public review period.

Timeline

Staff is proposing the following timeline for the *visionHagerstown 2035* public review and adoption (attached).

Attachments: Plan Review Timeline,
Goals, Actions, Policies, Actions of *visionHagerstown 2035*
Associated Figures and Maps

Copy: Kathleen Maher, PCAD Director

Proposed *visionHagerstown 2035* Timeline

| Date | Action |
|--------------------------------|---|
| Beginning the week of March 20 | Launch of Public Feedback Survey and Go Live with <i>visionHagerstown 2035</i> Update webpage |
| March 28 and April (if needed) | Initial presentation of draft Plan recommendations to Mayor & Council |
| March 29 and April 12 | Planning Commission review of Mayor & Council feedback |
| April 17 – June 16 | Mandatory 60-day review Public Review period. Draft plan made available on City website and, by State Law, sent to MD Dept of Planning, Washington County, and Funkstown |
| June 28 | Planning Commission Public Review Meeting |
| July 11 | Joint meeting of Mayor & Council and Planning Commission to review public input |
| July 26 and August 9 | Planning Commission deliberation on revisions arising out of input (this could be extended depending on input) |
| August 9 | Planning Commission recommendation of draft plan to Mayor & Council |
| August 15 or 22 | Planning staff update to Mayor & Council |
| August 29 | Mayor & Council Public Hearing |
| Within 90 days after August 9 | <p>Per State Law, Mayor & Council action to either:</p> <ol style="list-style-type: none"> 1) Adopt Plan; 2) Reject Plan 3) Remand Plan back to Planning Commission. <p>Mayor & Council does have option to approve for itself one 60-day review extension</p> <p>If Mayor & Council take no action within this timeframe, the Plan is deemed approved by State Law.</p> |
| Fall 2017 and beyond | If Plan is remanded back to Planning Commission, the Commission must hold another Public Hearing on revisions before sending back to Mayor & Council with recommended “new plan”. |
| Fall 2017 and beyond | Mayor & Council action to approve or reject Plan. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035

Growth Management and Land Use

| Goals | |
|--|--|
| 1 | Channel future growth in a way that strengthens the City's role as the provider of urban services to the Hagerstown Urban Growth Area, and as the economic, cultural, and institutional center of Washington County. |
| 2 | Enlarge the city's corporate boundaries in order to become a stronger city, increase economic development, deliver urban services in an efficient manner, and promote fiscal stability. |
| 3 | Physically integrate the proposed growth area with existing developed areas of the city. |
| 4 | Re-use and revitalize vacant and underutilized land, to support economic development and neighborhood enhancement goals. |
| 5 | Re-align the Medium-Range Growth Area (MRGA) to include areas where growth is more likely to occur and to de-emphasize areas where growth is not likely to happen within the next 20 years. |
| Issues to be addressed by this Element | |
| 1 | The City of Hagerstown and the Hagerstown region continues to grow slowly in the aftermath of the housing downturn and the 2007-2009 recession. Some of this growth is occurring outside of the city, further diminishing Hagerstown's role as the region's primary provider of urban services. |
| 2 | Hagerstown needs to expand its corporate boundaries in order to harness the fiscal benefits of regional growth. In pursuing such expansion, the City must consider a host of issues, including where and how much to grow, how to provide public services to these areas, how to physically integrate existing neighborhoods and commercial areas into the city, and how to coordinate annexation efforts with Washington County's plans and policies. |
| 3 | Undeveloped or underutilized industrial land accounts for more than 8 percent of the city's land area. Re-use and revitalization of these areas are just as important as growth and development in areas outside of current corporate boundaries. |
| Policies | |
| 2-1 | This Comprehensive Plan maintains the Medium-Range Growth Area (MRGA) and Long-Range Growth Area with several modifications, as shown in Map 2-4 . The Medium-Range Growth Area boundary represents the desired city boundary in the year 2035. |
| 2-2 | The net effect of annexation within the City's Medium-Range Growth Area will generate revenues and benefits sufficient to justify the overall expansion of city services. However, fiscal considerations will not be the sole basis upon which individual annexation decisions are made. |
| 2-3 | Taken as a whole, annexation for residential purposes within the City's Medium-Range Growth Area will support the City's goal of promoting a high-quality housing stock and generally increasing home ownership rates |
| 2-4 | The City of Hagerstown will coordinate growth and annexation efforts with appropriate agencies, officials from Washington County, and other municipalities if affected. |
| 2-5 | New development will be timed to match the availability of public facilities, including roads, emergency services, and water and wastewater service. |
| 2-6 | Development and redevelopment of Hagerstown's vacant and underutilized land will be an important part of the City's overall growth management approach. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Growth Management and Land Use

| | |
|----------------|---|
| 2-7 | Future Land Uses will be consistent with the designations in Map 2-7 . |
| 2-8 | The Hagerstown Zoning Map will be consistent with the Future Land Use designations. |
| 2-9 | Growth management and the Future Land Use Plan for the City of Hagerstown and the Medium-Range Growth Area will be consistent with the goals of <i>PlanMaryland</i> , specifically within Place Designations established on Map 2-9 . |
| Actions | |
| 2-1 | As a means of reducing cost to the County for providing urban services, and to strengthen the city's tax base to support its role as the Urban Growth Area's primary urban service provider, work with Washington County to coordinate planning efforts and to develop a joint annexation policy. |
| 2-2 | Develop annexation incentives to encourage developed areas to annex into Hagerstown. |
| 2-3 | To facilitate economic development, explore, with Washington County, cost-sharing strategies to provide revenue to the City in exchange for not requiring annexation in certain areas as a condition for the provision of municipal water and wastewater service. |
| 2-4 | Monitor the status of vacant and underutilized land within corporate boundaries, and encourage its re-use and revitalization. |
| 2-5 | Pursue comprehensive rezonings to make the Hagerstown Zoning Map consistent with Future Land Use categories and the Future Land Use Map established in Policy 2-7. |
| 2-6 | Coordinate with Washington County to ensure that new development is timed to match the availability of public facilities, including schools, roads, emergency services, and water and wastewater service. |
| 2-7 | Pursue land use-related actions listed in other elements of this Comprehensive Plan, especially the Downtown, Housing and Neighborhoods, and Urban Design and Historic Preservation elements. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Economic Development

| Goals | |
|--|---|
| 1 | Attract higher-wage employment to the city. |
| 2 | Promote development and redevelopment of vacant and underutilized land in a way that contributes to the city's fiscal base. |
| 3 | Capture a larger share of the region's retail and tourism spending. |
| 4 | Reinforce downtown Hagerstown's role as the region's government, economic, educational, institutional, arts, and cultural center. |
| 5 | Grow the city's fiscal base to support capital improvements, programs, and staffing needs. |
| Issues to be addressed by this Element | |
| 1 | Large amounts of vacant and underutilized land exist in the city. |
| 2 | Limited high-wage and service-sector employment in Hagerstown. |
| 3 | Sustaining the momentum for long-term downtown revitalization. |
| 4 | The city's limited share of the region's retail and tourist activity. |
| 5 | The need for additional and/or specialized education to prepare citizens for employment in higher-paying industries. |
| 6 | The challenges of high unemployment and concentration of poverty in the city. |
| Policies | |
| 3-1 | Hagerstown will continue to recruit service-sector, high-technology, and other businesses that offer high wages and strengthen the city's economic and fiscal base. |
| 3-2 | The City will pay special attention to the needs of small businesses that are particularly attracted to locating in cities. |
| 3-3 | Support efforts to attract new businesses by encouraging redevelopment and re-use of vacant and underutilized land, including brownfield and large commercial sites, especially in those areas designated for Business Employment on Map 2-7 . |
| 3-4 | Hagerstown's local economic development efforts will continue to contribute to county and regional economic development initiatives. |
| 3-5 | Hagerstown will continue to emphasize downtown revitalization and development, to reinforce the downtown's role as the region's economic, cultural, institutional, educational, and arts center. |
| 3-6 | The City will continue to implement the recommendations of the 2012 Sustainable Community Plan and the 2014 Community's City Center Plan. |
| 3-7 | Hagerstown will continue to monitor the concentration of poverty situation in the city and assess impacts of programs designed to serve the populations affected by poverty. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035 Economic Development

| Actions | |
|---------|---|
| 3-1 | Implement economic development-relations actions of the 2012 Sustainable Community Plan. |
| 3-2 | Implement the catalyst project recommendations of the Community's City Center Plan. |
| 3-3 | Encourage and facilitate development of vacant land and redevelopment of underutilized properties for commercial, industrial, and business employment uses. |
| 3-4 | Pursue regional economic development strategies and programs through continued cooperation with the Hagerstown-Washington County Department of Business Development (including the Enterprise Zone), the Hagerstown-Washington County Industrial Foundation (CHIEF), the Maryland Department of Business and Economic Development, the Hagerstown-Washington County Chamber of Commerce, the Convention and Visitors Bureau, and other appropriate organizations. |
| 3-5 | Implement the revitalization and development strategies and actions in the Downtown element of visionHagerstown 2035. |
| 3-6 | Work with the Maryland General Assembly to establish a Community Revitalization Improvement Zone (CRIZ) in the city. |
| 3-7 | Explore public-private partnerships to provide specialized and technical professional training for the local workforce and for high school students. |
| 3-8 | Encourage job creation through the support of entrepreneurship programs and initiatives. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Water Resources

| Goals | |
|--|---|
| 1 | Ensure that adequate wastewater capacity exists to serve future growth. |
| 2 | Consistently meet all regulatory requirements to help protect public health and the environment, in particular reducing the environmental impact on Antietam Creek. |
| 3 | Provide a sustainable uninterrupted potable water supply to all customers served by the Hagerstown Water System. This may include increasing the permitted capacity for the R.C. Willson Treatment Plant and making the Edgemont Reservoir a consistently viable source of water. |
| 4 | Identify and implement viable projects to protect and/or enhance Hagerstown's water supply. |
| 5 | Ensure that the City's environmental and development ordinances reflect the most recent state stormwater and nonpoint source pollution policies. |
| 6 | Use nonpoint source nutrient modeling to guide the location, amount, and type of development in and around the city to achieve the least impact to the city's water quality within the watershed. |
| Issues to be addressed by this Element | |
| 1 | As a result of entering into a consent judgment with the Maryland Department of the Environment (MDE) in 2005 through 2011, and despite upgrades to the Wastewater Treatment Plant (WWTP), the City will still have a limited supply of unused wastewater treatment capacity. The City must therefore maximize the efficiency of its wastewater system, and needs to make long-term wastewater allocation decisions that support its growth management and annexation policies. |
| 2 | State policy limits wastewater treatment capacity based on the total amount (or load) of nitrogen and phosphorous discharged into a receiving water body. Hagerstown discharges treated effluent into Antietam Creek, which is a tributary to the Chesapeake Bay, and is thus subject to a nutrient discharge cap. Hagerstown's wastewater policy needs to focus on minimizing or reducing discharges. |
| 3 | Inflow and Infiltration (I&I) currently consumes approximately 10 percent of the planned design capacity of the City's wastewater treatment plant, reducing the amount of capacity that is available to serve new and existing development. |
| 4 | The limited sewage treatment capacity in Hagerstown and Washington County necessitates a coordinated wastewater service approach between the City and County. |
| 5 | Growth in Hagerstown and the surrounding communities has increased water demand requiring an evaluation of and potential upgrades to the City's water treatment and distribution infrastructure. |
| 6 | State regulations regarding stormwater management have been updated since adoption of the 2008 Comprehensive Plan. The City's development ordinances should be updated to reflect state policy. |
| 7 | Development in Hagerstown and the surrounding communities contributes nonpoint source nutrient loads to Antietam Creek, Conococheague Creek, and Marsh Run. New development and all re-development projects shall make every feasible effort to minimize non-point loading impacts and make improvements to the current water quality within the watershed." The proposed language adds clarity regarding the city's goal for its receiving waters. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035

Water Resources

| Policies | |
|----------|--|
| 4-1 | Hagerstown will use water and wastewater policy to support visionHagerstown 2035's growth management goals. The City's Annexation Policy will continue to guide the provision of water and wastewater service outside of Hagerstown's corporate boundaries. The City will only provide new or expanded water and wastewater services to properties that annex into the city or that enter into pre-annexation agreements with the City, except as specifically exempted in the Annexation Policy. |
| 4-2 | <p>Hagerstown will continue to coordinate wastewater and water planning and implementation with Washington County.</p> <p>Wastewater: Through continued cooperation with Washington County, wastewater capacity will be available for all new development in the City of Hagerstown and the Medium Range Growth Area, as well as other priority areas within the Long Range Growth Area.</p> <p>Water: Through continued cooperation with Washington County and the towns of Williamsport, Smithsburg, and Funkstown, water capacity will be available for all new development in the City of Hagerstown and the Medium Range Growth Area, as well as other priority areas within the Long Range Growth Area.</p> |
| 4-3 | Hagerstown will maximize the capacity of its wastewater system. |
| 4-4 | <p>visionHagerstown 2035 establishes tiered priority areas for new or expanded water and wastewater service, as delineated on Map 4-2 and defined here:</p> <p>Priority 1. Infill and redevelopment within the 2015 Corporate Boundary. Highest priority for new or expanded water and wastewater allocations.</p> <p>Priority 2. Medium-Range Growth Area. Second priority for new or expanded water and wastewater service.</p> <p>Priority 3. Long-Range Growth Area. Existing service will be maintained. New service is not anticipated before 2035, but may be considered for employment centers, in support of City and County economic development and other goals and policies in this Plan.</p> <p>No water or wastewater service will be provided outside of the Long-Range Growth Area except for health and safety reasons. Any existing or future water lines extending outside of the Long-Range Growth Area shall be considered restricted and no additional connections will be permitted, except for health and safety reasons.</p> |
| 4-5 | Hagerstown will ensure adequate future water system supply by continuing to monitor system capacity and water use. This includes ensuring that the Edgemont Reservoir/Breichner WTP is a reliable backup source for water and the need for a capacity increase permit for R.C. Willson WTP. |
| 4-6 | The City will continue to set aside at least 25 percent of its annual wastewater allocation for new development to be used for non-residential development, with priority given to Business-Employment uses (see Chapter 2) and industrial uses. |
| 4-7 | The City will continue the existing rate structure and other policies that encourage water conservation. |
| 4-8 | The City will pursue expanded interjurisdictional coordination with the County and municipal utilities within the Hagerstown UGA, focusing on improving operational efficiencies by merging overlapping functions such as laboratories, administration or training, among others things. |
| 4-9 | Hagerstown will reduce its nonpoint source nutrient loads through more stringent stormwater management requirements for development, selective stormwater retrofits, and other actions as appropriate. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Water Resources

| Actions | |
|---------|---|
| 4-1 | Continue to use and update the Sewer Capacity Allocation Plan (SCAP), as changes in priorities, policies, and regulations occur. |
| 4-2 | Reduce Inflow and Infiltration into the sewage collection system by continuing ongoing repair efforts. Consider providing incentives for private land developers to perform I&I reductions. |
| 4-3 | Renew the Flow Transfer Agreement with Washington County and remove the “sunset” clause to make flow transfers permanent. Work with Washington County to fully implement the Flow Transfer agreement to transfer sewage from City wastewater lines to the County’s Conococheague WWTP. |
| 4-4 | Investigate alternate ways to manage wastewater capacity, such as: <ul style="list-style-type: none"> a. Participation in the state’s nutrient trading policy, specifically when extending wastewater service to homes and businesses on individual septic systems. The City also may be able to “sell” excess capacity (if available) b. Implementation of more efficient treatment technology as it becomes available. c. Re-assignment of allocation from vacant and under-utilized commercial and industrial properties when they redevelop. This could include recoup of some “turned off accounts.” d. Exploration of reuse of grey water from the Hagerstown Wastewater Treatment Plant where feasible—such as for watering of golf courses or athletic fields, or for industrial processes—as means of conserving water resources and reducing nutrient discharges to Antietam Creek. |
| 4-5 | Continue to update the Hydraulic Model to determine water system dynamics and deficiencies. Use the model to guide decisions as they pertain to system improvements including, but not limited to, system storage requirements, pumping station upgrades, and distribution system improvements. |
| 4-6 | Continue to monitor produced water and billed water to reduce the system water loss to 10 percent or less, per MDE policy. |
| 4-7 | Continue to monitor average day and peak day water usage to better predict when it is appropriate to approach MDE for an amendment to the current water allocation of 15 MGD from the Potomac River. |
| 4-8 | Implement practices that are protective of the Edgemont watershed and water quality. Continue to work with MDE Dam Safety and MDE Water Supply to ensure long-term viability of a reliable source of water for new development. |
| 4-9 | Offer to develop cooperative agreements with Washington County on appropriate situations and conditions for the provision of water and/or wastewater services outside the Medium Range Growth Area. In particular, discuss extension of services to the economic development target area, as well as selected residential areas. |
| 4-10 | Working with Washington County, identify and prioritize the correction of stormwater “hotspots” in the City and MRGA. Identify and use state, federal, and other funding sources to implement stormwater retrofits in these areas. |
| 4-11 | Advocate for more flexible state stormwater management standards for redevelopment properties and multi-year phased developments. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035

Transportation

| Goals | |
|--|--|
| 1 | The city's transportation network, including roads, transit, and bicycle and pedestrian facilities, will meet the mobility needs of its residents, businesses, and visitors of all ages, abilities, and socioeconomic backgrounds. |
| 2 | Transportation projects will support the City's growth management goals. |
| 3 | Long-distance traffic will use major highways to travel around Hagerstown rather than through the city. |
| Issues to be addressed by this Element | |
| 1 | Hagerstown's transportation network needs to be enhanced to maintain safe and efficient flow of people and goods in and around the city. |
| 2 | Hagerstown's network of major roads is generally complete, with many missing or partially complete segments in the Medium-Range Growth Area. |
| 3 | Without upgrades, the existing road network will not be sufficient to accommodate future traffic in and around Hagerstown. |
| 4 | Hagerstown's transportation network needs more alternatives to the automobile, including transit and bicycle facilities and pedestrian opportunities. |
| Policies | |
| 5-1 | The Plan recommends completion of the Long Range Transportation Plan projects and City-identified projects listed in Figures 5-1 and 5-2, and shown in Map 5-3 . |
| 5-2 | <p>The City of Hagerstown will work with Washington County, the Towns, the State of Maryland, and Hagerstown Eastern Panhandle Metropolitan Planning Organization (HEPMPO) to pursue the timely completion of selected projects that facilitate traffic movement around the city's periphery. Specific projects are:</p> <ul style="list-style-type: none"> • Widening of I-81 and I-70. • Widening and extension of Eastern Boulevard from MD Route 60 to MD Route 64. • Construction of Southern Boulevard • Construction of the Northwest Connector |
| 5-3 | Transportation improvements will support the visionHagerstown 2035's growth management and land use goals. |
| 5-4 | Desired alignments for new roads will be identified in advance of new development, and developer participation will be sought. |
| 5-5 | The City should review and evaluate the Curb and Sidewalks Policy periodically and update as necessary. |
| 5-6 | <p>The City encourages alternatives to automobile travel, specifically:</p> <ul style="list-style-type: none"> • Expansion of the County Commuter system, including extending hours of operation • Inclusion of sidewalks and pedestrian paths as part of new development, and • The establishment of bicycle routes on existing and new city streets. |
| 5-7 | Continue to encourage ride-sharing by maintaining existing park-and-ride lots, and by developing new park-and-ride lots as necessary. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035

Transportation

| Actions | |
|---------|---|
| 5-1 | Work with Washington County, the towns, the State of Maryland, and the HEPMPO to complete the transportation improvements identified in this Comprehensive Plan. In particular, review and comment on the annual City and County Improvement Programs (CIPs) and the State Consolidated Transportation Program as they relate to furthering objectives of this plan. |
| 5-2 | Work with Washington County to review County Commuter bus service, to evaluate the adequacy of existing routes, adequacy of bicycling features at stations and on buses, transit information, and bus shelters in light of the Growth Management and Land Use element of visionHagerstown 2035. |
| 5-3 | Work with the Maryland Transit Authority to evaluate the need for expanded commuter bus service and additional commuter bus stops in Hagerstown, making existing stops bicycle and pedestrian friendly and making new stops multi-modal (accessible to roads, sidewalks, and multi-use paths) |
| 5-4 | <p>Expand the city's pedestrian and bicycle infrastructure by considering the following improvements:</p> <ul style="list-style-type: none"> • Develop a new walking path/greenway along Antietam Creek (see Map 5-2 or 9-4). • Develop east-west bicycle-friendly routes through downtown using existing alley system • Develop a continuous multi-use path along Memorial Blvd and Marsh Run from City Park to Municipal Stadium • Work with Washington County and the State to develop a multi-use path from City Park along CSX right-of-way and former B&O right-of-way to connect Hagerstown to C&O Towpath in southern Washington County • Reserve right-of-way on new or expanded roads for bicycle lanes. • Re-use abandoned rail lines as pedestrian and bicycle paths. • Work with CSX to create “trails-by-rails” along low volume, low speed rail lines • Implement the City's Livable Streets Initiative as new streets are constructed or when existing streets are repaved/reconstructed |
| 5-5 | Investigate the feasibility of alternate funding sources for transportation projects, such as development impact fees and assessment districts, as well as increased State and Federal aid. |
| 5-6 | Continue to require new development and redevelopment to include sidewalks that connect to existing sidewalks, especially where continuous sidewalks facilitate access to parks and schools. |
| 5-7 | Work with Washington County and State of Maryland to implement pedestrian safety recommendations for the Dual Highway and at challenging intersections in the study area. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035 Downtown

| Goals | |
|--|--|
| 1 | Reinforce downtown Hagerstown's role as the region's government, economic, educational, institutional, and cultural center. |
| 2 | Enlarge the city's share of regional retail and tourist revenue by concentrating specialized businesses and cultural amenities in the downtown. |
| 3 | Encourage a greater level of income diversity among residents choosing to live downtown by exploring opportunities for middle- and upper-income housing to balance the lower income base. |
| 4 | Renovate downtown buildings to make them more attractive for users. |
| Issues to be addressed by this Element | |
| 1 | Sustaining the momentum for long-term downtown revitalization. |
| 2 | Downtown's limited share of overall regional, retail and, tourist spending. |
| 3 | A limited supply of housing in downtown with amenities to attract a more diverse population. |
| 4 | A limited supply of Class-A office space that makes it difficult for downtown to compete within the regional market. |
| Actions | |
| 6-1 | Support the implementation of the catalyst projects identified in the Community's City Center Plan. |
| 6-2 | Encourage the continued location and expansion of all levels of government and public uses in the downtown. |
| 6-3 | Encourage revitalized and new education, professional offices, and downtown housing development with a diversity of price ranges. |
| 6-4 | Continue the City's Main Street Program. |
| 6-5 | Strengthen downtown's role as a regional tourist destination by implementing the Heart of the Civil War Heritage Area recommendations for new tourism support facilities, interpretive programs, infrastructure enhancements, and marketing endeavors. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Housing and Neighborhoods

| Goals | |
|--|--|
| 1 | Foster housing and neighborhoods that encourage diversity of race, ethnicity and income, and reflect and celebrate the range of people who live or work in the city, Washington County, and the region beyond. |
| 2 | Improve the conditions of Hagerstown's challenged neighborhoods. |
| 3 | Blend new residential development into the fabric of existing neighborhoods through complementary design and interconnectivity. |
| 4 | Establish neighborhood boundaries based on the geographical and physical characteristics to be used as creating identity for neighborhoods which could also serve as a basis for establishing future neighborhood groups. |
| 5 | Explore linkages between urban core neighborhoods and downtown. |
| 6 | Implement the City's vision and commitment to housing and neighborhoods throughout the city, which includes: <ul style="list-style-type: none"> 1) making them welcoming, safe, and, inclusive; 2) fostering a sense of place, pride, and community identity; 3) making them clean, well-built, and crime free; 4) establishing healthy and sustainable neighborhoods that are walkable and have amenities; and 5) recognizing them as the foundation upon which healthy communities are built. |
| Issues to be addressed by this Element | |
| 1 | Hagerstown's low homeownership rate challenges neighborhood stabilization and improvement efforts. |
| 2 | The housing downturn and residential foreclosures resulting from the 2007-09 Recession continue to affect the city through a decline in property values and lack of investment |
| 3 | Hagerstown neighborhoods with higher poverty rates lack investment and improvement. |
| 4 | Quality housing options are limited in the city's sustainable community area. |
| Policies | |
| 7-1 | New residential development in the downtown will include owner-occupied and renter-occupied units with a broad range of prices. |
| 7-2 | Hagerstown will continue its vision and commitment to neighborhood revitalization strategies to address the needs of its neighborhoods, especially in targeted neighborhoods surrounding downtown. |
| 7-3 | The City will grow its park and open space system to give neighborhoods appropriate levels of recreational amenities (see Action 9-6). |
| 7-4 | Neighborhoods should have good access to community facilities, including schools and parks. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035 Housing and Neighborhoods

| | |
|----------------|--|
| 7-5 | New development in Hagerstown will blend, mesh, and transition into existing neighborhoods (see Policy 8-1). |
| Actions | |
| 7-1 | Work with regional partners to create a balanced regional housing approach—with emphasis on encouraging both the city and county to ensure all members of our community have access to quality affordable housing in high opportunity neighborhoods. |
| 7-2 | Continue rental registration and code enforcement efforts to increase the overall quality of residential units in the city. |
| 7-3 | Continue to protect quality of life in neighborhoods by utilizing the tools listed under the “Neighborhood Revitalization” section of this element, the recommendations in the 2012 Sustainable Community Plan, and other appropriate programs as tools for neighborhood revitalization. |
| 7-4 | Continue to support efforts to plant street trees and provide additional neighborhood parking facilities. |
| 7-5 | Revise as necessary the Land Management Code to ensure that the layout, architectural, and other physical design elements of new development are compatible with existing neighborhoods. |
| 7-6 | In order to facilitate neighborhood revitalization, aggressively promote homeownership incentives and strategic acquisitions in targeted areas surrounding downtown (see Map 7-2). |
| 7-7 | Create neighborhood boundaries based on the geographical and physical characteristics to be used as creating identity for neighborhoods which could also serve as a basis for establishing future neighborhood groups (See Map 7-3). |
| 7-8 | Explore linkages between city neighborhoods and downtown. |
| 7-9 | Develop Neighborhood Improvement Plans to address property maintenance and blight issues. Neighborhood Improvement Plans should use defined neighborhood boundaries established on Map 7-3 . |
| 7-10 | Develop and implement a city wide housing and neighborhood strategy which creates specific recommendations for redevelopment and investment to foster sustainable neighborhoods. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Urban Design and Historic Preservation

| Goals | |
|--|---|
| 1 | Use urban design to link Hagerstown's existing neighborhoods with new development and redevelopment. |
| 2 | Strengthen the role of historic resources in the city by encouraging rehabilitation and reuse of historic residential, commercial, industrial, and mixed use buildings. |
| 3 | Use historic resources as tools for increasing economic development. |
| Issues to be addressed by this Element | |
| 1 | New development often lacks continuity with existing development in its streetscapes, signage, and other design elements. |
| 2 | Many historic buildings are not being utilized to their fullest extent. |
| 3 | The historic district review process, while progress has been made, is perceived by some as to be more difficult than in actuality. |
| Policies | |
| 8-1 | Land development regulations will ensure that the layout, architecture, and other physical design elements of new development blends, meshes, and transitions into nearby existing development and historic resources. |
| 8-2 | Hagerstown will encourage rehabilitation and reuse of its historic residential, commercial, and industrial buildings. |
| 8-3 | Hagerstown will enhance and promote its historic resources to help capture a greater share of the region's tourist spending. |
| Actions | |
| 8-1 | Consider extending streetscape improvements (similar to those present in the central part of the downtown) throughout the whole downtown and into the city's neighborhoods, to establish a cohesive pedestrian-friendly atmosphere. |
| 8-2 | Consider developing a "pattern book" for the downtown and historic districts, suggesting typical architectural and urban design elements for new development and redevelopment. |
| 8-3 | Reevaluate off-premise signage regulations. |
| 8-4 | Consider expanding the City's National Register Historic Districts to make state and federal funds available to more residential neighborhoods, and commercial and industrial areas. |
| 8-5 | Actively promote underutilized historic properties that already have wastewater allocations. |
| 8-6 | Continue developing marketing programs to tie nearby Civil War resources (including Antietam National Battlefield) to the city's Civil War and other historic resources. |
| 8-7 | Promote benefits of historic district designation to existing property owners and to areas currently undesignated. |
| 8-8 | Work with the Main Street program work groups on initiatives to enhance the urban design and image of the downtown |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Community Facilities

| Goals | |
|--|---|
| 1 | Maintain and expand police, fire, and EMS services to serve the city’s growing population and geographic area. |
| 2 | Support civic institutions that add to overall quality of life. |
| 3 | Grow the parks and recreation system to provide adequate open space, athletic fields, and indoor and specialty recreation facilities for the city’s growing population. |
| 4 | Support and advocate for the expansion of school services to serve existing neighborhoods and the growing population in the Medium Range Growth Area. |
| 5 | Support the expansion of a high-speed broadband network that is accessible and affordable to residents and businesses across the city. |
| Issues to be addressed by this Element | |
| 1 | The Hagerstown region will need expanded and relocated fire protection and emergency services in order to adequately serve areas within the Medium Range Growth Area. Working collaboratively with all public safety partners, the Hagerstown Fire Department desires to establish baseline and benchmark response goals to establish industry best practice resource deployment. |
| 2 | The Washington County Public Schools Educational Facilities Master Plan indicates that the Hagerstown region is projected to need additional high school and middle school seat capacity in the near term to serve the growing educational needs of the Medium-Range Growth Area (MRGA). |
| 3 | Some residential areas lack neighborhood parks. |
| 4 | Aside from government and public institutions, access to high-speed broadband service is very limited. |
| Policies | |
| 9-1 | The Hagerstown Fire Department will strive to have a sufficient number of fire stations, located at appropriate sites to serve Hagerstown’s growing population and geographic area. |
| 9-2 | The City should continue to work with Washington County to ensure adequate police, fire, and EMS service throughout the Long-Range Growth Area. |
| 9-3 | New development will be timed to match the availability of public facilities and emergency services (see Policy 2-5). |
| 9-4 | Installation of new utilities should accommodate for technology cabling with pull boxes (“Dig Once” Policy) |
| 9-5 | Strive to provide park space within a 0.25 mile walking distance, giving priority for new parks to the underserved areas identified in Map 9-4 . |
| 9-6 | Continue to support community facilities in downtown Hagerstown. |
| 9-7 | There will be sufficient school facilities and capacity to serve the growing needs of the city and the Medium Range Growth Area. |
| Actions | |
| 9-1 | Work with Washington County Public Schools to identify potential sites for new schools in the city and Medium Range Growth Area. Consider the potential re-use of existing sites formerly owned by Washington County Public Schools that do not meet current site size criteria. Work with developers on acquisition of school sites when feasible. |
| 9-2 | Develop a comprehensive broadband plan for the city. Key elements for the plan are described in the Broadband section of the Community Facilities element. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035

Community Facilities

| | |
|------|--|
| 9-3 | <p>Develop a Parks and Recreation Master Plan that establishes a vision for recreation, parks and open space in the city for the next 10 to 20 years. The Master Plan should:</p> <ul style="list-style-type: none"> • Assess the state of recreation, parks, and open space in the city today. • Identify future needs based on a demand analysis, including accessibility to parks, as well as required acreage and facility types. • Set policies for addressing the defined needs. • Make practical, achievable recommendations in the form of a strategic action plan for meeting the defined needs, consistent with the selected policies. • Identify areas in the city for parks, recreation, and open space while using the DNR Park Equity Analysis data and 0.25 mile walk-sheds as guides. • Address the maintenance of existing and future park and recreation facilities, including County parks that may be annexed. |
| 9-4 | Develop new parks and open space areas—especially smaller neighborhood parks—in underserved portions of the city, specifically the West End and south of downtown. |
| 9-5 | Develop linkages between parks, such as the trails identified in the Transportation Element (see Action 5-4) or greenways and linear parks along Antietam Creek and Marsh Run. Also develop linkages between downtown and the parks. |
| 9-6 | Identify locations and provide boat access to the Antietam Creek Water Trail, including the former Municipal Electric Light Plant (MELP) property. |
| 9-7 | Investigate potential locations for “pocket parks”—small open spaces with park amenities such as tot lots, seating, and gardens, especially in the downtown. |
| 9-8 | Explore re-use of abandoned institutional uses, such as the former Municipal Electric Light Plant (MELP), hospital, and former Winter Street Elementary School for future park and/or recreational activity. |
| 9-9 | Consider developing an indoor recreation center with multi-purpose rooms for use by residents and community groups. |
| 9-10 | Pursue formalized joint-use agreements with Washington County Public Schools to allow continued use of school property (especially recreational facilities) by the public. |

Goals, Issues, Policies, & Actions Identified in visionHagerstown 2035 Environmental Resources and Sustainability

| Goals | |
|----------|---|
| 1 | Continue to recognize and protect sensitive areas. |
| 2 | Reduce urban heat island effect resulting from development. |
| 3 | Limit disruption of natural water hydrology resulting from new development. |
| 4 | Maintain and improve the quality of the region's water resources. |
| 5 | Reduce greenhouse gas emissions. |
| 6 | Provide for effective stormwater management. |
| 7 | Increase the rate of recycling across the city to meet or exceed the U.S. national average. |
| 8 | Implement sustainable practices as identified by the Sustainable Maryland Program. |
| Policies | |
| 10-1 | New development and redevelopment in Hagerstown and the Medium Range Growth Area will avoid stream buffers and 100-year floodplains. |
| 10-2 | New development and redevelopment will also avoid steep slopes (greater than 15%) where possible. Proper slope stabilization will be required where development or redevelopment on steep-slope areas is desirable. |
| 10-3 | The urban heat island effect in Hagerstown and the Medium-Range Growth Area will be reduced through protection and re-establishment of natural features and trees. |
| 10-4 | The City will encourage ways to increase the urban tree canopy from 21% to 30% by 2030. |
| 10-5 | In order to increase tree canopy coverage, areas of reforestation or forest conservation created as a result of new development should be established within the city limits. |
| 10-6 | Natural stormwater flows will be maintained in Hagerstown and the Medium-Range Growth Area through stormwater management best practices. This is in accordance with pollutant reduction strategies consistent with Washington County's Watershed Implementation Plan. |
| 10-7 | The City will work to implement the goals, objectives, and action steps of the Sustainable Maryland program. |
| 10-8 | The City should work to increase the amount of solid waste diversion from landfills for Hagerstown from the current 27% to national average of 34% by 2035. |
| Actions | |
| 10-1 | Develop stream buffer and steep slope regulations to guide future development and redevelopment. |
| 10-2 | Encourage strategies to reduce stormwater runoff from buildings |
| 10-3 | Set goal of reduce stormwater runoff in Hagerstown and implement by promoting reduction of impervious areas. |
| 10-4 | Encourage (re)development of Leadership in Energy and Environmental Design (LEED)-certified building standards by developers and private property owners. |

Goals, Issues, Policies, & Actions Identified in **vision**Hagerstown 2035

Environmental Resources and Sustainability

| | |
|------|---|
| 10-5 | Reduce greenhouse gases and the heat island effect by implementing the city's urban tree canopy coverage goal. |
| 10-6 | Conserve water resources by setting a goal of elimination of potable city water as irrigation source and implement through rainwater harvesting and use of native vegetation. |
| 10-7 | Implement practices to make Hagerstown more sustainable and also consistent with the Sustainable Maryland Program: |

Figure 5-1: Transportation Projects Underway (Committed)

| Key (Map 5-3) | Facility | Improvement | Segment |
|---------------------|---------------------------|---------------------|---|
| A. | Professional Blvd | Construct new road | Antietam Creek bridge to Robinwood Drive (excludes bridge) |
| B. | Southern Blvd, Phase I | Construct new road | Frederick St. (US Alt 40) to Villa Ridge Dr. |
| C. | Interstate 81 | Reconstruct & Widen | Potomac River Bridge between MD and WV to Exit 1 (MD Route 63/68) |
| D. | Shawley Drive | Realignment | Realign intersection to Maugans Ave and Oliver Dr |
| E. | Eastern Blvd ¹ | Widen to four lanes | MD Route 64 to Security Rd |

Source: HEPMPPO 2040 Long-Range Transportation Plan;

¹ 2015-2024 Washington County Capital Improvement Plan (CIP)Figure 5-2: Recommended Long Range Transportation Improvements
(Identified in the 2040 Long-Range Transportation Plan)

| Key (Map 5-3) | Facility | Improvement | Segment |
|---------------------|-------------------------|--|--|
| 1 | Interstate 81 | Widen to six lanes | Entire length of Washington County |
| 2 | Interstate 70 | Widen to six lanes | Frederick County line to Interstate 68 |
| 3 | Halfway Blvd | Construct new four-lane divided arterial segment (with turn lanes) | Current terminus to MD Route 63 |
| 4 | US Route 11 | Widen to four lanes | Hagerstown city line to Williamsport |
| 5 | US Route 11 | Widen to four lanes | Burhans Blvd N to Terminal Drive |
| 6 | US Route 40 | Widen to six lanes | Eastern Blvd to Interstate 70 |
| 7 | US Route 40 | Widen to four lanes and intersection improvements | MD Route 63 to MD Route 144 |
| 8 | MD Route 65 | Widen to four lanes | Poffenberger Road to MD Route 68 |
| 9 | Southern Blvd, Phase II | Construct new road | Edgewood Drive to Frederick Street |
| 10 | MD Route 63 | Widen to four lanes | Interstate 70 to US Route 40 |
| 11 | Paul Smith Blvd | Construct new road | U.S. Route 40 to U.S. Alt 40 |
| 12 | Robinwood Drive N | Construct new road | Realign from Hagerstown Community College to MD Route 64 |
| 13 | MD Route 60 | Widen to four lanes | Marsh Pike to Longmeadow Road |
| 14 | MD Route 64 | Reconstruction | Eastern Blvd to Little Antietam Road |
| 15 | MD Route 65 | Widen to five lanes | Interstate 70 to US Route 40 |

**Figure 5-2: Recommended Long Range Transportation Improvements
(Identified in the 2040 Long-Range Transportation Plan)**

| Key (Map 5-3) | Facility | Improvement | Segment |
|---|---|-------------------------------------|---|
| 16 | Eastern Blvd Ext. | Construct new road | Antietam Drive to MD Route 60 |
| 17 | Longmeadow Road | Widen to five lanes | Halifax Drive to MD Route 60 |
| 18 | Marsh Pike | Widen to five lanes & Signalization | MD Route 60 to Longmeadow Road |
| 19 | New Gate Blvd | Construct new road | Current terminus to US Route 40 |
| 20 | MD Route 65 | Widen to four lanes | Interstate 70 to Wilson Blvd |
| 21 | Maugans Ave | Widen to three lanes | Interstate 81 to Main Street |
| 22 | Maugans Ave | Construct new road | Main Street to Garden View Road |
| 23 | Poffenberger Road | Widen to three lanes | MD Route 65 to US Alt 40 |
| 24 | Crayton Blvd | Construct new road | Current terminus to Showalter Road |
| 25 | Northwest Connector | Construct new road | Haven Road to Salem Ave |
| 26 | Showalter Road | Widen to four lanes | Interstate 81 to US Route 11 |
| 27 | MD Route 60 | Reconstruction | Cortland Drive to Marsh Pike |
| 28 | E. Oak Ridge Drive & South Pointe Drive | Signalization | Intersection of E. Oak Ridge Drive, South Pointe Drive, and Oakmont Drive |
| 29 | Haven Road | Reconstruction | US Route 11 to end |
| 30 | Edgewood Drive | Widen to four lanes | Haywood Cir to Howell Rd |
| 31 | US Alt 40 | Reconstruction | Funkstown to MD Route 68 |
| Locally-Identified Projects Not Included in 2040 L RTP | | | |
| 32 | Eastern Boulevard | Widen to four lanes | Security Road to Antietam Drive |

Source: HEPMPO 2040 Long-Range Transportation Plan, Washington County 2015-2024 Capital Improvement Plan (CIP)

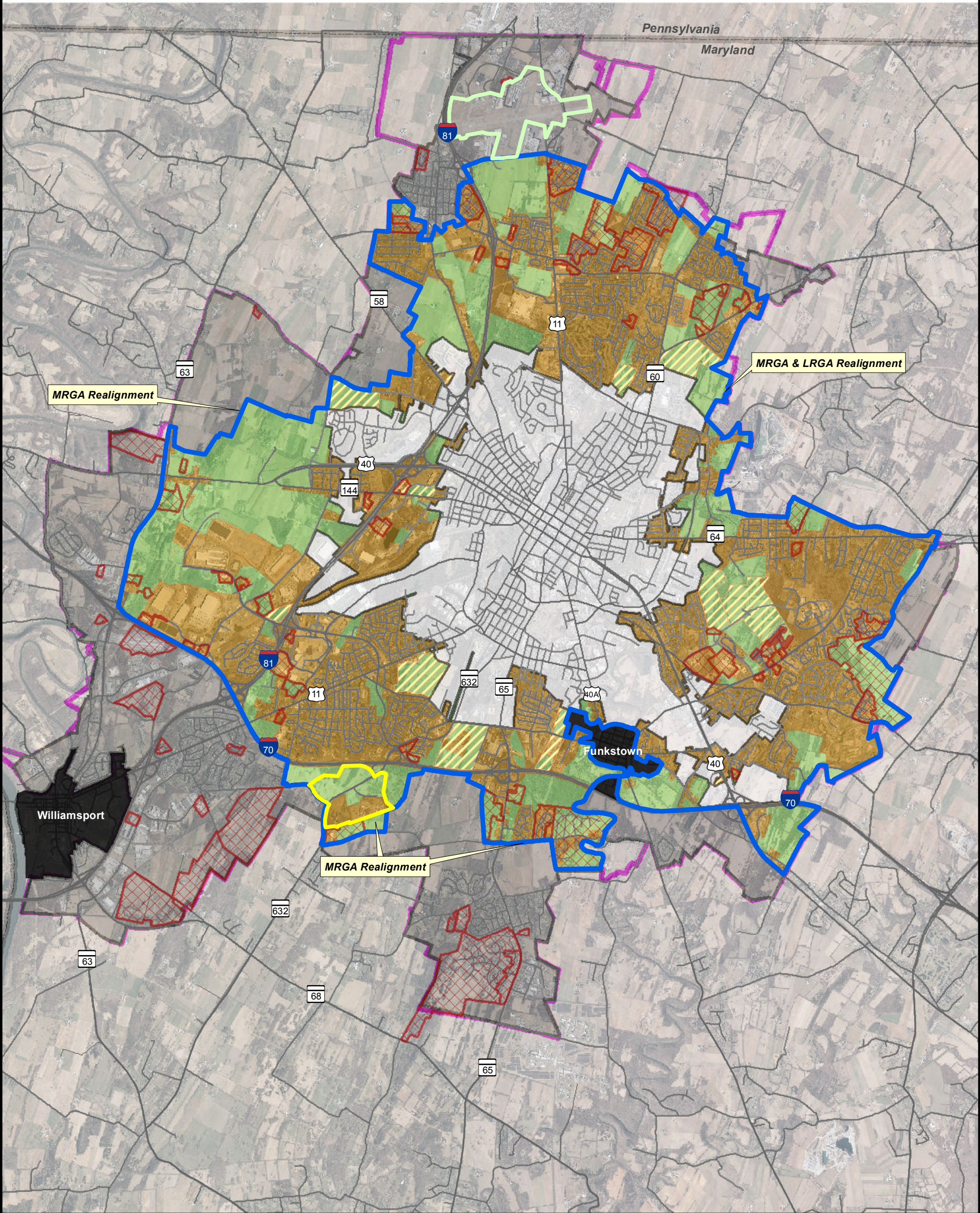
Among the projects shown in Tables 5-1 and 5-2, the MPO 2040 Long-Range Transportation Plan lists the following committed road projects around the city and in the MRGA.

Current Projects (underway or soon to be underway as of 2017):

- Southern Boulevard Phase I – from Frederick Street (US Alt 40) to Villa Ridge Dr.
- Eastern Boulevard widening from Jefferson Boulevard to Security Road
- Eastern Boulevard widening from Security Road to Antietam Drive near YMCA

Future Projects (varying funding commitments in the City CIP):

- Construction of Northwest Connector from New Haven Road to Salem Avenue
- Extension of Professional Court to Meritus Medical Center and Hagerstown Community College



visionHagerstown 2035 Comprehensive Plan
Map 2-4: Hagerstown Growth Boundaries

- | | |
|---------------------------------|---|
| Road | Airport (Preexisting Water Agreement) |
| Corporate Boundary | Friendship Park (Preexisting Water Agreement) |
| Medium-Range Growth Area (MRGA) | Pre-Annexation Agreement* |
| Long-Range Growth Area (LRGA) | Potential Annexations |
| County Urban Growth Area | Developed Land in Medium Range Growth Area |
| State Boundary | Undeveloped Land in Medium Range Growth Area |

* These areas represent only those pre-annexation agreements that are 3 acres or larger.



Map Projection: NAD83 State Plan Maryland FIPS (feet)
Data Sources:
City of Hagerstown, 2017; State of MD Imagery, 2014
Washington County, 2016
Prepared By: Hagerstown Planning & Code Admin Dept, 01/27/17



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Comprehensive Plan

Map 2-7: Future Land Use Plan



- Major Road

Street

Corporate Boundary

Medium-Range Growth Area
- Moderate Density Residential

Medium Density Residential

High Density Residential
- Downtown

Mixed Use

Commercial General

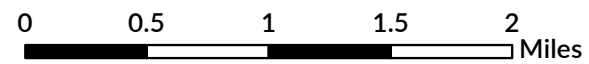
Business-Employment

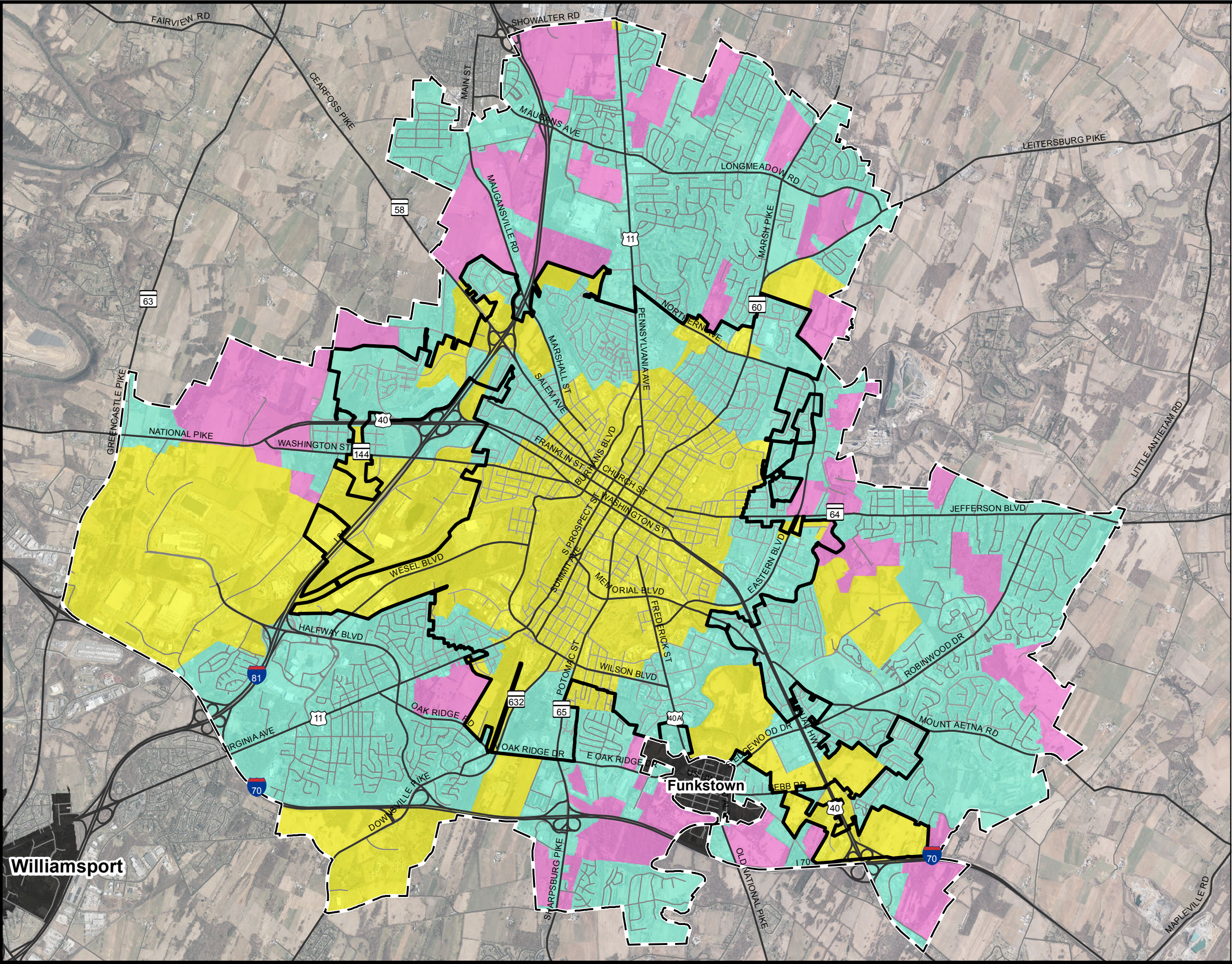
Industrial

Institutional

Parks/Rec/Open Space

| Future Land Use Designation | Acreage | % of Total |
|------------------------------|---------|------------|
| Moderate Density Residential | 4,510 | 17.7% |
| Medium Density Residential | 7,059 | 27.8% |
| High Density Residential | 679 | 2.7% |
| Downtown | 161 | 0.6% |
| Mixed Use | 88 | 0.3% |
| Commercial General | 3,077 | 12.1% |
| Business Employment | 4,259 | 16.7% |
| Industrial | 3,208 | 12.6% |
| Institutional | 1,091 | 4.3% |
| Parks Recreation Open Space | 1,296 | 5.1% |
| Total | 25,429 | 100% |





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Map 2-9: PlanMaryland
Place Designations



- Major Road
- Local Street
- Corporate Boundary
- Medium-Range Growth Area

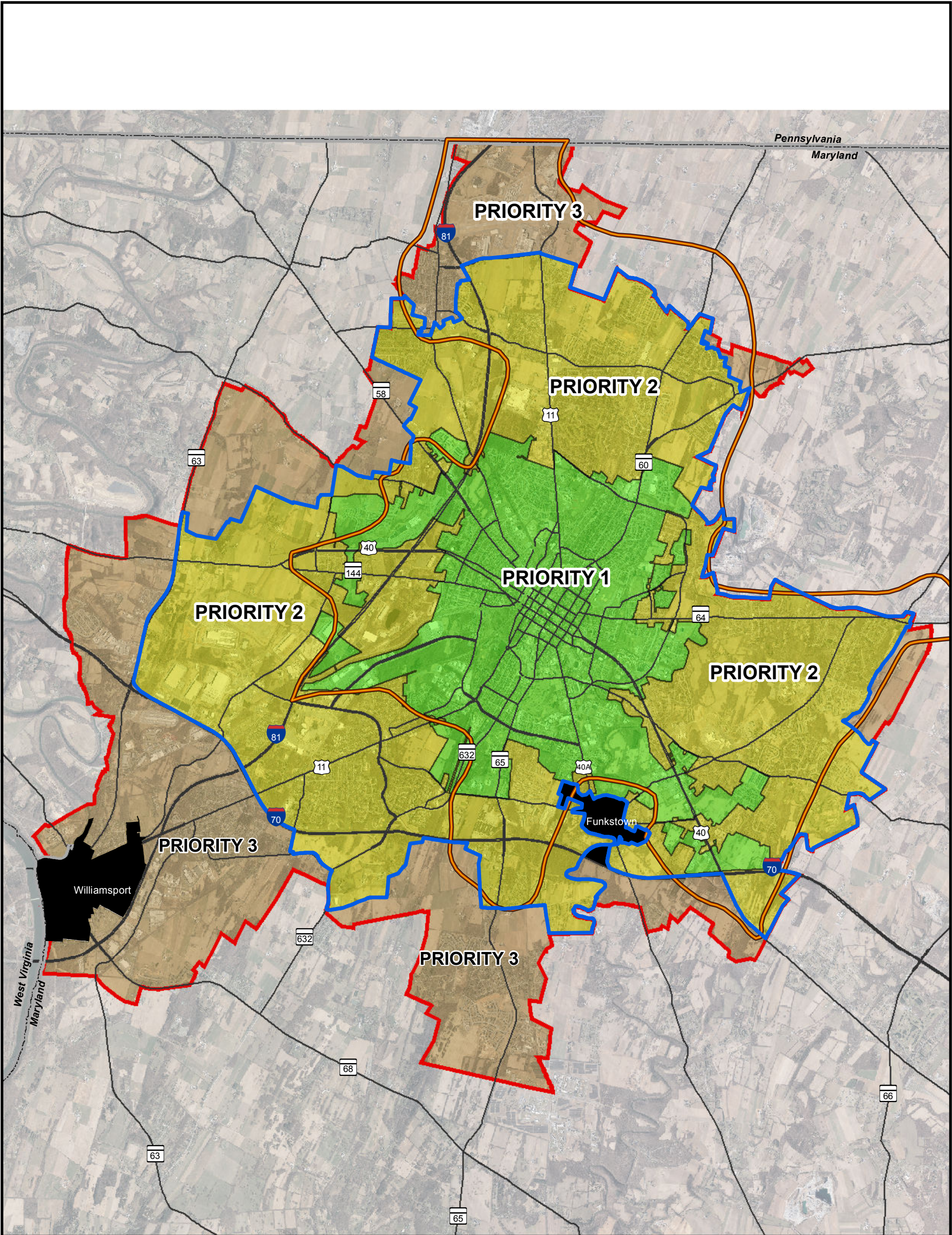
- Place Designation
- Targeted Growth & Revitalization Area
 - Established Community Area
 - Future Growth Area



Map Projection: NAD83 State Plan Maryland FIPS (feet)
Data Sources:
City of Hagerstown, 2017; State of MD Imagery, 2014
Washington County, 2016

Prepared By:
Hagerstown Planning & Code Admin Dept, 01/27/17





visionHagerstown 2035 *Comprehensive Plan*
Map 4-2: Water and Wastewater Priority Areas



0 0.5 1 1.5 2 Miles

- Major Road
- Corporate Boundary
- Medium-Range Growth Area (MRGA)
- Long Range Growth Area
- Consolidated General Service Agreement "Designated Area"

- Priority Areas**
- 1
 - 2
 - 3

New or expanded wastewater service denied, except for health and safety reasons.

Note: Funkstown and Williamsport purchase water from Hagerstown.

Map Projection: NAD83 State Plan Maryland FIPS (feet)
Data Sources:
City of Hagerstown, 2017; State of MD Imagery, 2014;
Washington County, 2016

Prepared By: Hagerstown Planning & Code Admin Dept, 01/27/17



Map 4-3: Growth Tier Designations



- Major Road
- Local Street
- Corporate Boundary
- Medium-Range Growth Area

SGAPA Tier Designation

Category

- Tier 1
- Tier 2

Tier 1 - Areas currently served by public sewerage systems

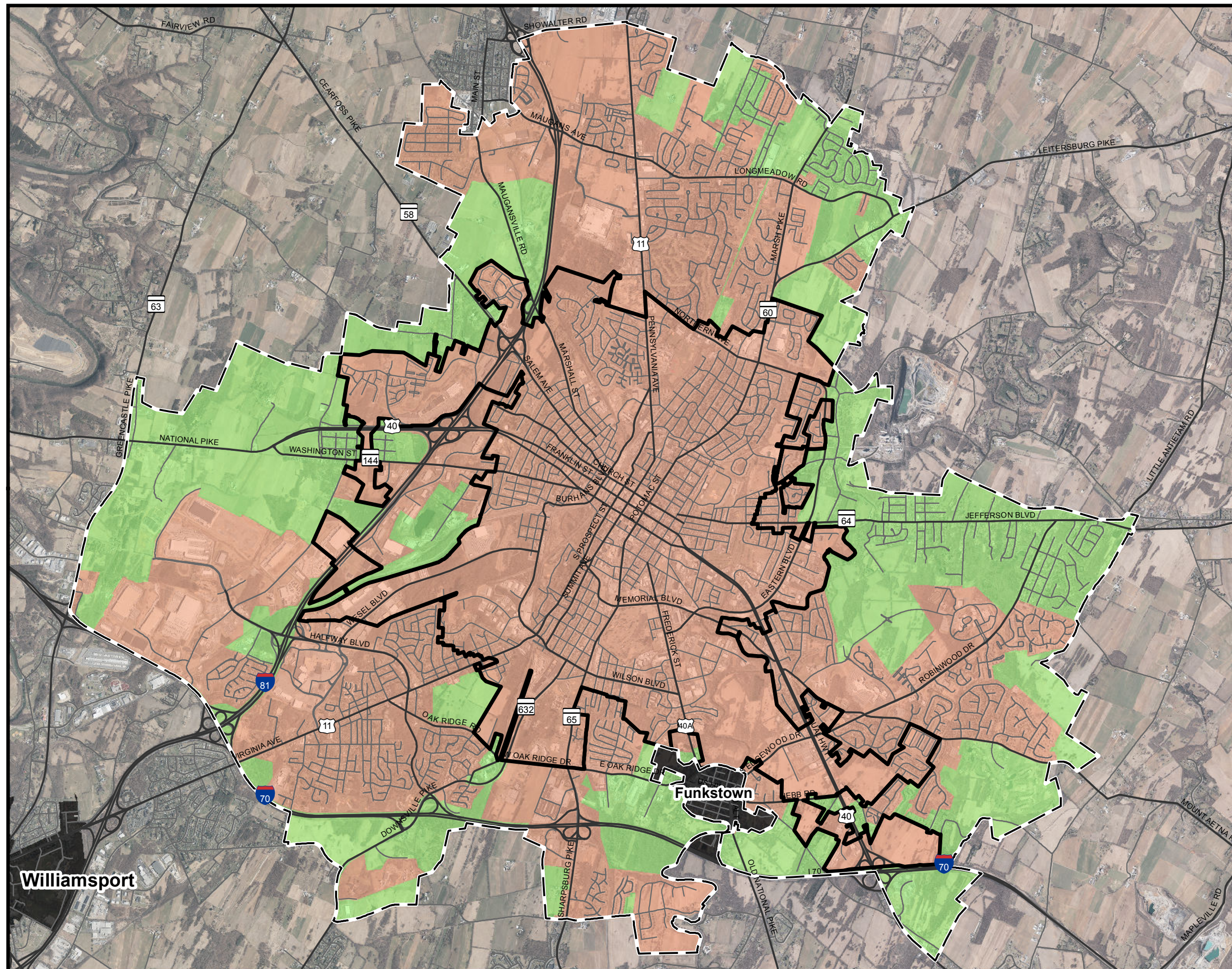
Tier 2 - Areas planned to be served by public sewerage systems



Map Projection: NAD83 State Plan Maryland FIPS (feet)

Data Sources:
City of Hagerstown, 2017; State of MD Imagery, 2014
Washington County, 2016

Prepared By:
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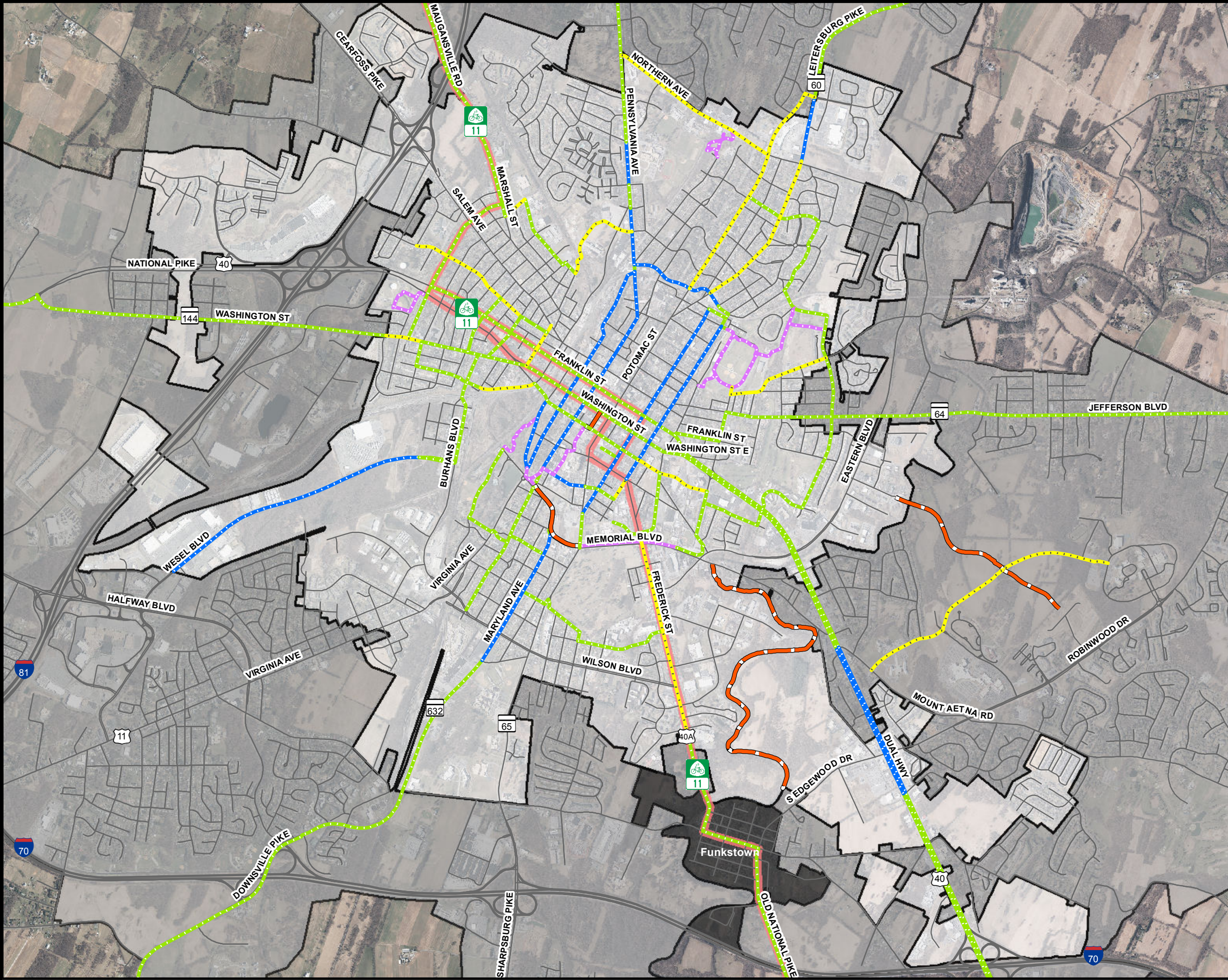
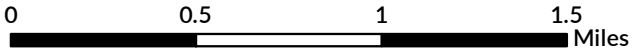
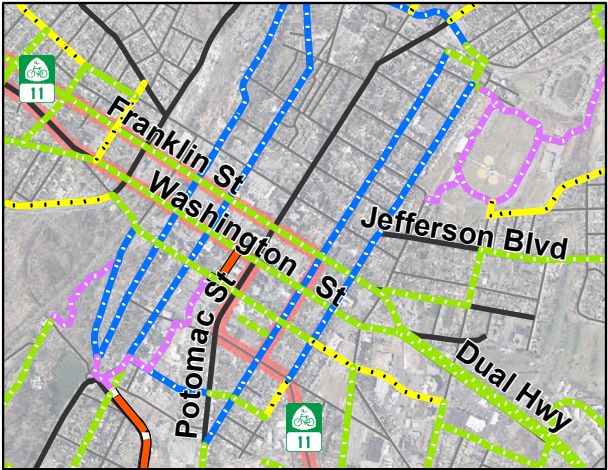


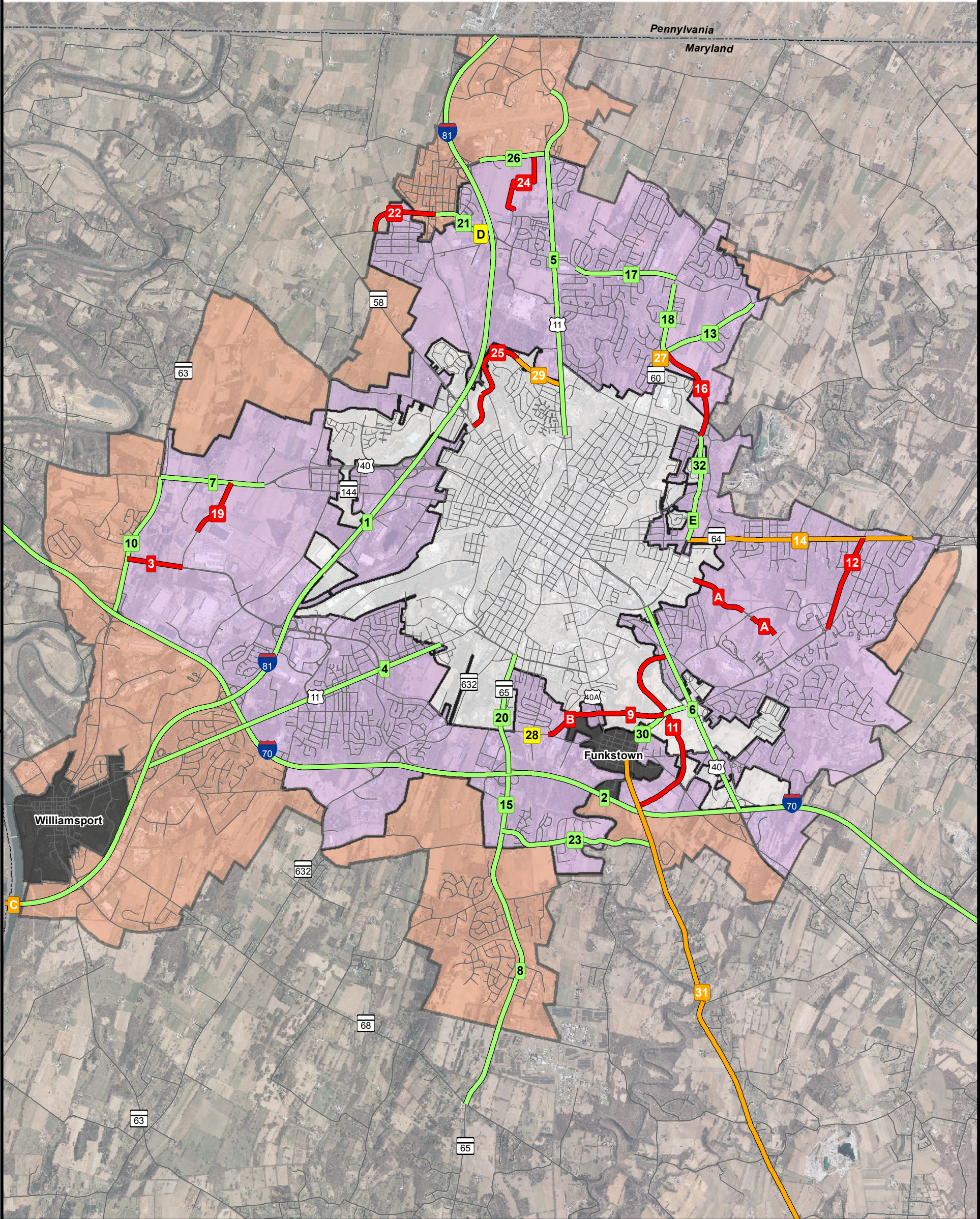
Map 5-2:
Bicycle Infrastructure
Existing and Planned



- Street
- Corporate Boundary
- Medium Range Growth Area
- Route Type**
 - Existing Shared-Use Path
 - Existing On-Street Bike Lane
 - Bicycle-Friendly Route
 - Proposed Shared-Use Path
 - Proposed Bike Lane
 - US Bicycle Route 11 Alignment

Downtown Thoroughfares





vision **Hagerstown 2035**
Comprehensive Plan

Map 5-3: LRTP Recommended Upgrades

- | | |
|--------------------------|---------------------------------|
| Road | Recommended Improvements |
| Corporate Boundary | Construct new road |
| State Boundary | Reconstruction |
| Medium Range Growth Area | Signalization/Traffic Control |
| Long-Range Growth Area | Widen |

Improvement Project Letters and Numbers are referenced in Figure 5-1 and Figure 5-2, respectively

0 0.5 1 1.5 2 Miles

Map Projection: NAD83 State Plan Maryland FIPS (feet)

Data Sources:
City of Hagerstown, 2017; State of MD Imagery, 2014
Washington County, 2016, HEPMPO, 2014

Prepared By: Hagerstown Planning & Code Admin Dept, 01/27/17



Map 7-2: Neighborhood Revitalization Programs



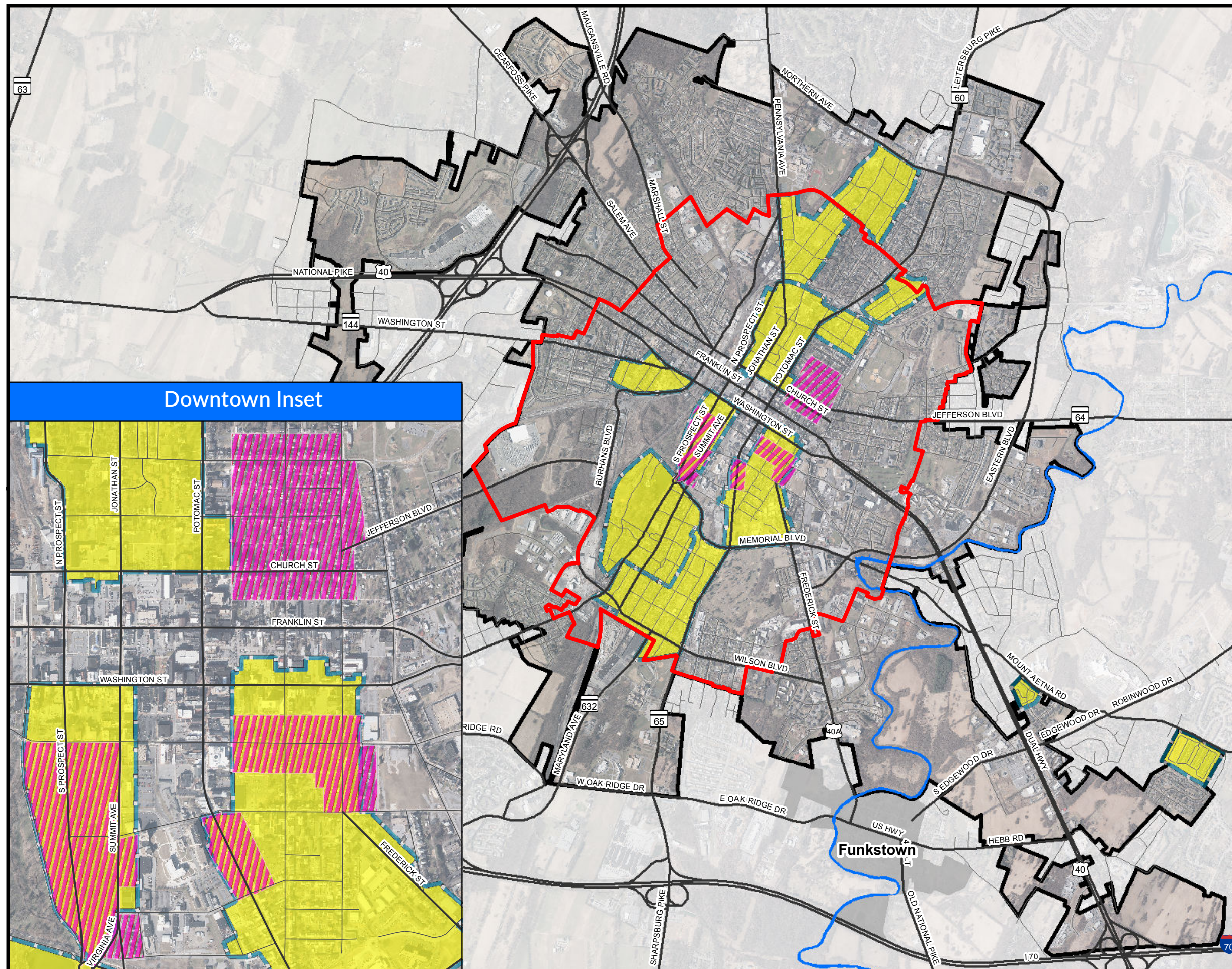
- Major Road
- Local Street
- Antietam Creek
- Corporate Boundary
- Targeted Area for Homeownership Strategies
- Neighborhoods 1st Group
- Sustainable Community Area

0 0.5 1
Miles

Map Projection: NAD83 State Plan Maryland FIPS (feet)

Data Sources:
City of Hagerstown, 2016; State of MD Imagery, 2014

Prepared By:
Hagerstown Planning & Code Admin Dept, 01/27/17



Map 7-3: Proposed Neighborhood Region Designations



- Local Street
- Major Road
- Corporate Boundary
- Antietam Creek
- Historic Subdivision

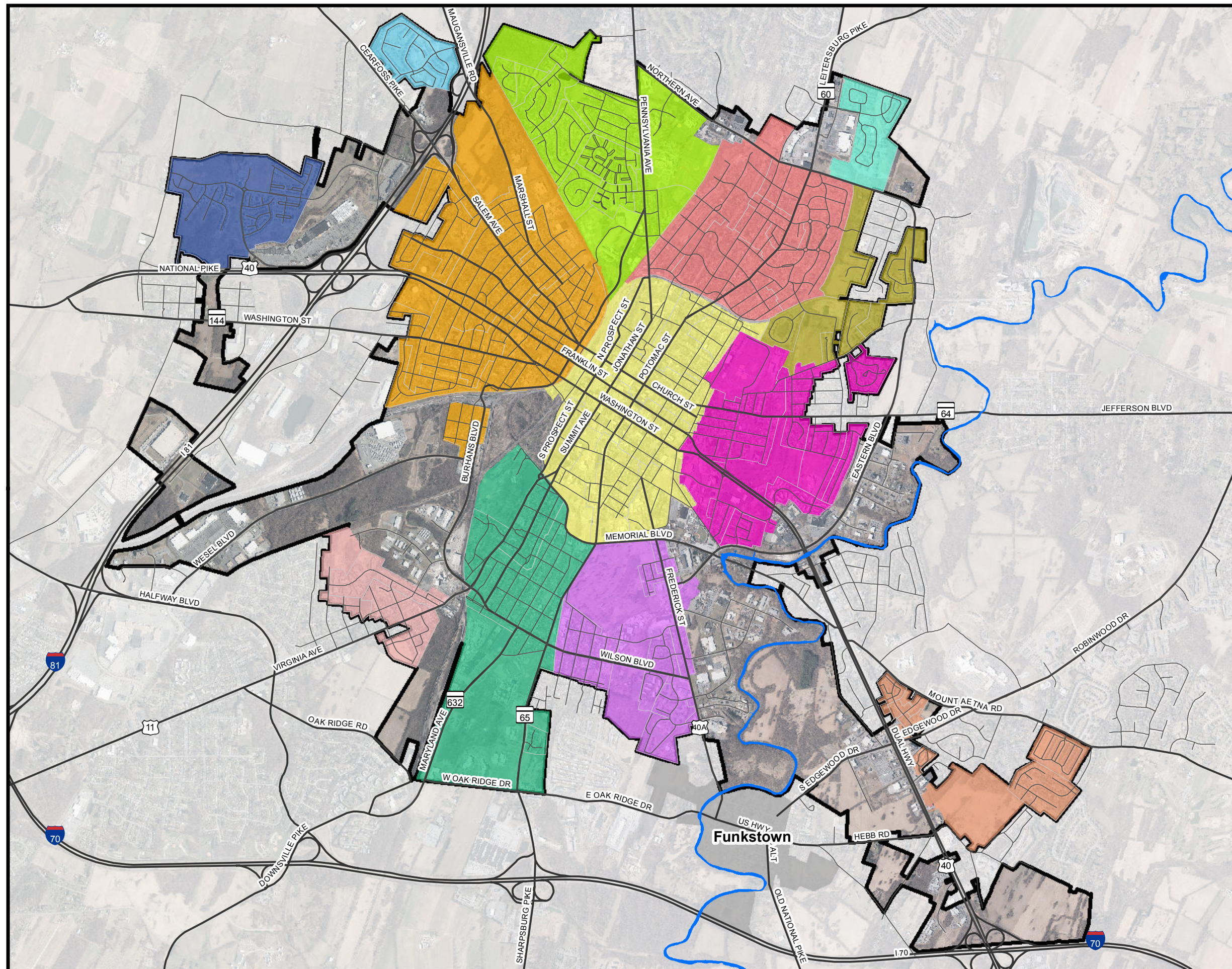
Proposed Neighborhood Regions

- Central
- Collegiate Acres
- Cortland
- Dual Highway Area
- East End
- Hager's Crossing
- North End
- Northeast
- Northwest
- South End
- Southeast
- Southwest
- West End

0 0.5 1
Miles

Map Projection: NAD83 State Plan Maryland FIPS (feet)
Data Sources:
City of Hagerstown, 2016; State of MD Imagery, 2014

Prepared By:
Hagerstown Planning & Code Admin Dept, 01/30/17



visionHagerstown 2035

Comprehensive Plan

Map 9-4: Future Park Needs



- Major Road
- Other Street
- Corporate Boundary

Parks

- Existing
- Potential Future Park Space
- Board of Education Property with Open Space

DNR Park Equity Analysis

- Low to Medium Low Need
- Medium to Medium High Need
- High Need
- 1/4 Mile Radius from Park Space within City*

*Includes Washington County Regional Park because of its proximity to city neighborhoods.

*Includes public schools that have parks and open space

Municipal Stadium is not included in the 1/4 mile radius distance from city parks

Please also refer to Figure 9-2:
Existing Park and Recreational Resources

NOTE: DNR park equity data is by Census tracts that extend beyond the corporate boundary and may not always capture the full need for park space in areas on the city's periphery, such as Cortland

0 0.5 1 Miles

Map Projection: NAD83 State Plan Maryland FIPS (feet)

Data Sources:
City of Hagerstown, 2016; MD Dept of Natural Res., 2015
Washington County, 2016

Prepared By:
Hagerstown Planning & Code Admin Dept, 01/30/17

